

Design and siting Guidelines

OLIVINE

by mirvac



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1.0 The Olivine Vision

Welcome to Olivine. Our promise of quality living and natural charm is brought to life in a dynamic new community, delivered to exceptional standards.

In the heart of Donnybrook, Olivine offers a beautiful backdrop to begin a new story – yours. Olivine will offer a safe, distinctive and well maintained living environment, where people can choose from a wide range of generous block sizes in a characteristic local village setting to build their dream home surrounded by like minded neighbours.

Featuring easy connections to the Melbourne CBD, via V/line train or Hume Freeway and just a 15 minute drive to Craigieburn Central, Olivine is set to deliver superb amenity, exceptional education opportunities and a diverse choice of beautiful homes surrounded by breathtaking natural landscapes.

With smart planning, visionary thinking and the highest design standards, Olivine will take suburban living to another level. Ensuring key amenities are delivered early, so quality living is available from day one, building momentum towards an exciting future and a place residents will be proud to call home.



Whilst Mirvac is committed to delivering the amenity shown, this project plan is indicative only and is subject to change and development approval. Some amenities are being delivered by third parties with timing outside of Mirvac's control and subject to delays. Purchasers should make their own enquiries.

Artists Impression only. Subject to change and development approval.

2.0 Purpose of the Design Guidelines

The principal aim of the Olivine design guidelines is to create a coherent vision for your story to unfold. The guidelines have been designed to ensure all homes at Olivine are built to a high standard and encourage a variety of housing styles that are sympathetic to the local streetscape and neighbourhood.

The guidelines will assist in providing you with peace of mind that your investment will grow into the future, and protect you from inappropriate development within Olivine.

The guidelines are a straightforward set of controls for dwelling design that also provide flexibility in selection and choice of housing. These design guidelines are applicable to lots greater than 300m² only. If your lot is less than 300m² these will be addressed separately.

An easy approval process is in place to assist purchasers and their builders at Olivine. In order to ensure compliance with the requirements of the Olivine design guidelines, all building designs must be approved and endorsed by the design review panel (DRP) prior to submission to a licenced building surveyor for building permit approval.

The DRP may exercise discretion to waive or vary a requirement where they deem it to be beneficial or otherwise to the vision for Olivine.

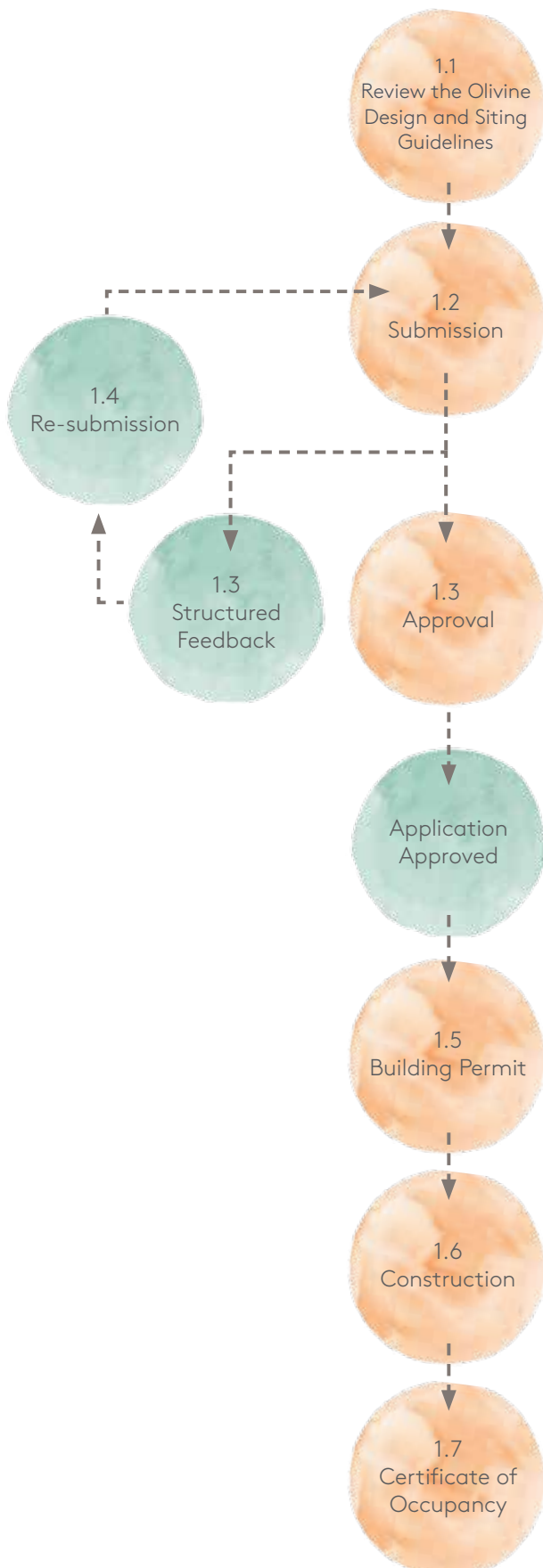
The guidelines are subject to change by the developer at any time without notice. All decisions regarding the guidelines are at the discretion of the DRP.



3.0 Using the Design Guidelines

The Olivine Design Guidelines have been broken down into a number of easy to understand sections. Under each section a list of controls are provided that describe what must be implemented when designing your new home in order to achieve an approval from the DRP. The DRP will provide constructive feedback and assistance to you and your builder to meet these controls.

4.0 The Approval Process



All homes designed within Olivine are required to comply with Clause 54 (One Dwelling on a Lot) and Clause 55 (Two or More Dwellings on a Lot) of the Whittlesea Planning Scheme. These Clauses are also known as 'ResCode'. Compliance with these statutory requirements will be assessed by your building surveyor.

Once your design is approved by the DRP, a building permit must still be obtained from the local council or a private building surveyor before construction can commence. Approval by the DRP does not constitute building approval or compliance with building regulations and the Whittlesea Planning Scheme.

The following summary will assist you in navigating the building approval process at Olivine;

- 1.1 Review the Olivine Design and Siting Guidelines
Provide these guidelines to your architect and/or builder. If you would like any preliminary advice or clarification please contact the DRP on OlivineDRP@mirvac.com
- 1.2 Submission
All designs and a completed checklist (pg.6) are to be submitted to OlivineDRP@mirvac.com;
- 1.3 Approval
Approval can be expected within 10 working days providing all documents have been submitted and they comply with the Olivine Design and Siting Guidelines.
- 1.4 Re-submission
In the event of non-compliance, structured feedback will be provided to facilitate approval. If all feedback has been addressed you should expect approval within 10 working days of resubmitting.
- 1.5 Building Permit
A Building Permit must be obtained from either the City of Whittlesea or a licenced surveyor
- 1.6 Construction
Once received, a Building Permit allows you to commence construction. Construction of your home must commence within 12 months from the date of settlement of your lot. Completion of your home must be within 12 months of build commencement. Landscaping must be completed within 6 months of certificate of occupancy.
- 1.7 Certificate of Occupancy
Subsequent to Certificate of Occupancy; all kerb/sidewalk rectification works must be completed within 90 days. Your driveway and crossover must be completed before you move in to your new home.

Submission

Site Plan Checklist	Sections
<input type="checkbox"/> North Point	<input type="checkbox"/> Scale (1:100, 1:200)
<input type="checkbox"/> Scale (1:100, 1:200)	<input type="checkbox"/> Natural ground level
<input type="checkbox"/> Lot boundaries, title boundaries and setout locations	<input type="checkbox"/> Finished ground level
<input type="checkbox"/> Building footprint (outline)	<input type="checkbox"/> Cut and fill levels
<input type="checkbox"/> Slab levels	<input type="checkbox"/> Ceiling heights
<input type="checkbox"/> Site contours, site levels	<input type="checkbox"/> Building heights relative to ground level
<input type="checkbox"/> Building setback dimensions (from all boundaries)	<input type="checkbox"/> Materials and finishes
<input type="checkbox"/> Location of driveway and crossover	<input type="checkbox"/> Roof pitch and materials
<input type="checkbox"/> Location of fencing and gates	
<input type="checkbox"/> Location of retaining walls (where applicable)	Materials and Finishes Schedule
<input type="checkbox"/> Location of swimming pools (where applicable)	<input type="checkbox"/> All buildings facades materials and colours
<input type="checkbox"/> Location of services (hot water service, water tanks, air conditioning)	<input type="checkbox"/> All roof colours and materials
<input type="checkbox"/> Connection to recycled water indicated	<input type="checkbox"/> All fencing finishes and colours
<input type="checkbox"/> BAL rating	
<input type="checkbox"/> Location of all outbuildings	Landscape Plan Checklist
	<input type="checkbox"/> Driveway materials and finish
Floor Plan Checklist	<input type="checkbox"/> Entry path
<input type="checkbox"/> North point	<input type="checkbox"/> Fencing line, materials and colours
<input type="checkbox"/> Scale (1:100, 1:200)	<input type="checkbox"/> Established tree locations and species
<input type="checkbox"/> Finished floor levels	<input type="checkbox"/> Clothesline locations
<input type="checkbox"/> All internal rooms and spaces	<input type="checkbox"/> Hot water service location
<input type="checkbox"/> Internal floor area	<input type="checkbox"/> Water tank locations
<input type="checkbox"/> Internal garage area	<input type="checkbox"/> Letter box location
<input type="checkbox"/> Smart wired in accordance with NBN requirements	
<input type="checkbox"/> Garage dimensions	
<input type="checkbox"/> Site coverage	
<input type="checkbox"/> Site permeability	
Elevations	
<input type="checkbox"/> Scale (1:100, 1:200)	
<input type="checkbox"/> Natural ground level	
<input type="checkbox"/> Finished ground level	
<input type="checkbox"/> Building heights relative to ground level	
<input type="checkbox"/> Materials and finishes	
<input type="checkbox"/> Roof pitch and materials	
<input type="checkbox"/> Locations of services (hot water services, water tanks, air conditioning)	



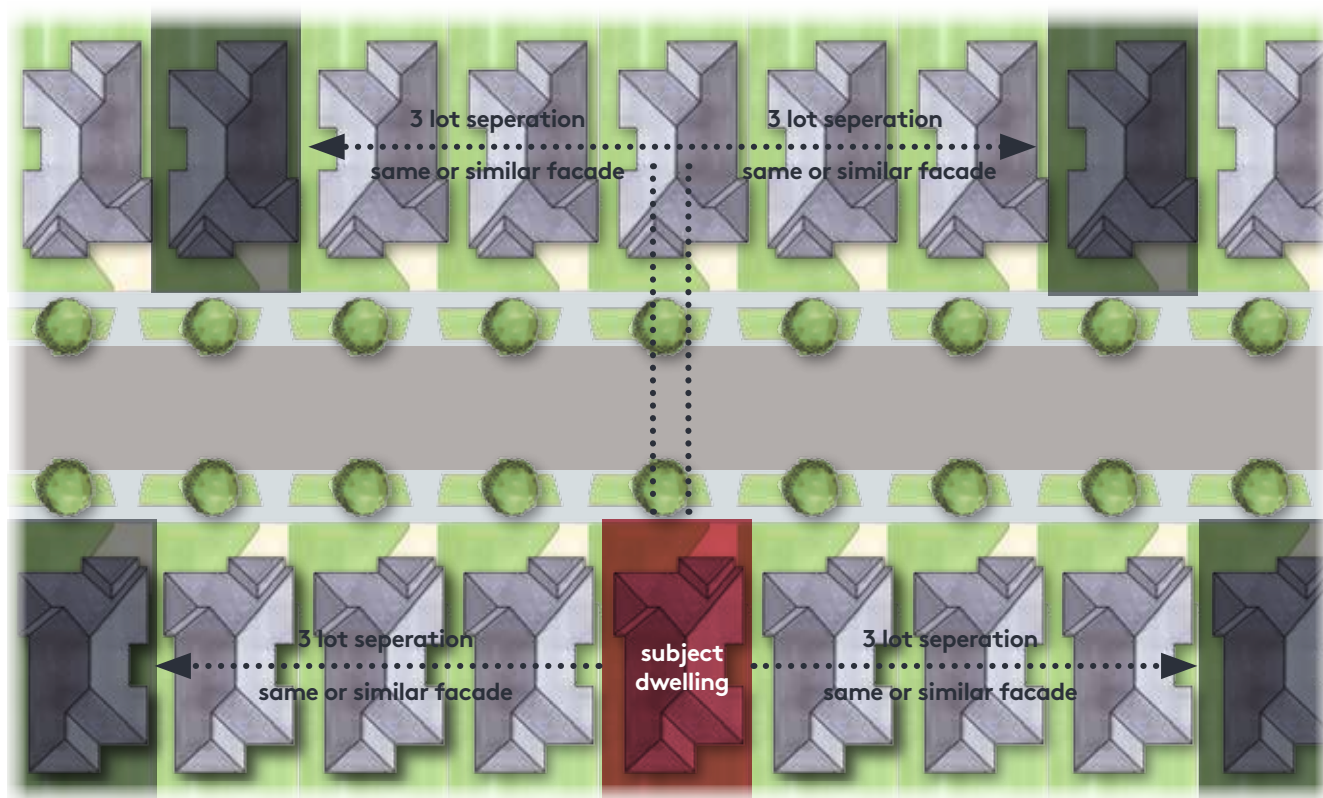
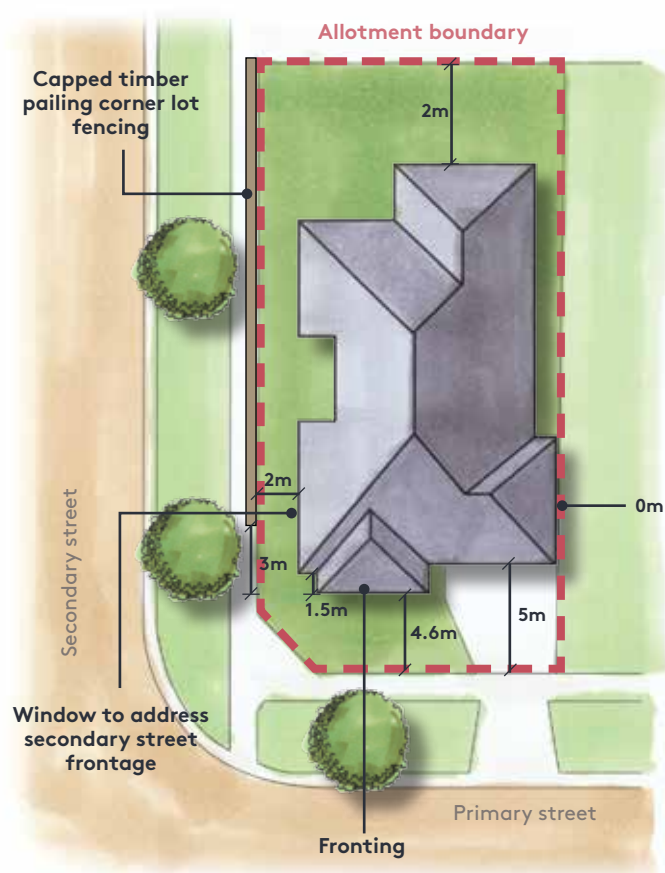
5.0

Façade and Home Siting

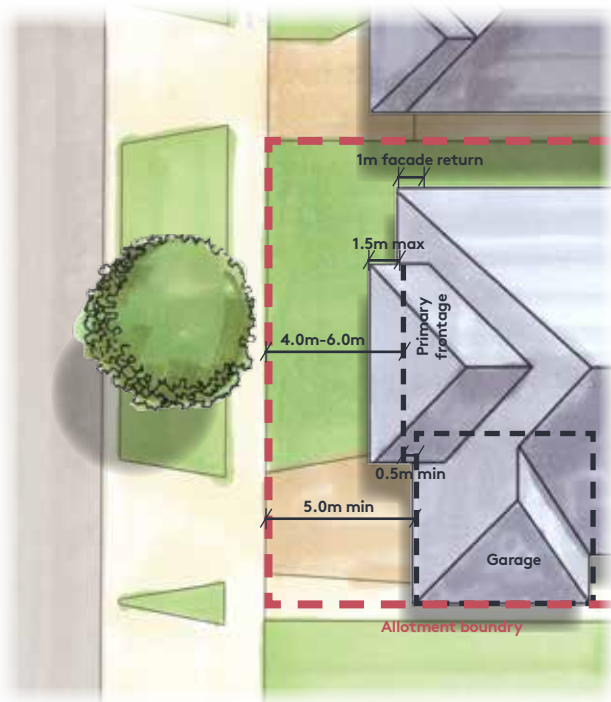


- 5.1 Façade design and articulation must comply with the following controls;
 - 5.1.1 Your home's design must be "contemporary" and in keeping with the other homes in your street. Faux heritage styles and features are not permitted.
 - 5.1.2 Your home must be oriented towards the primary street frontage and present an identifiable entrance to the street. For lots which address two streets including corner lots, the shorter street frontage shall be the primary frontage.
 - 5.1.3 The front entry to your home must be clearly visible from the street and must include protruding elements such as a covered veranda or portico treatments that provide a sense of entry.
 - 5.1.4. Your home must have windows facing the primary street frontage, and be appropriately articulated as elements of the façade design. Front facing windows should not solely comprise of highlight windows.
 - 5.1.5 Your home's visible side street windows must match the style and quality of the front windows.
 - 5.1.6 Your façade must be articulated along both primary and secondary streets to a minimum of 4m or where visible from public realms. The inclusion of openings, balconies, varied materials, recesses pop-outs, windows, balconies, pergolas and other similar design elements in order to reduce the overall mass of the building will assist articulation.
 - 5.1.7 Where your home incorporates a masonry facade, the window, door lintels and surrounds must be finished in the same masonry and avoid the use of light-weight infill panels. This applies to all sides of the house.
 - 5.1.8 For double storey homes located on corner lots, the side wall on the first level facing the secondary street must not be constructed with less than 30% glazing and less than 70% contrasting material finish for the length of the wall. OR/ the side wall of the first level must be setback 900mm from the ground level wall that faces the secondary street.

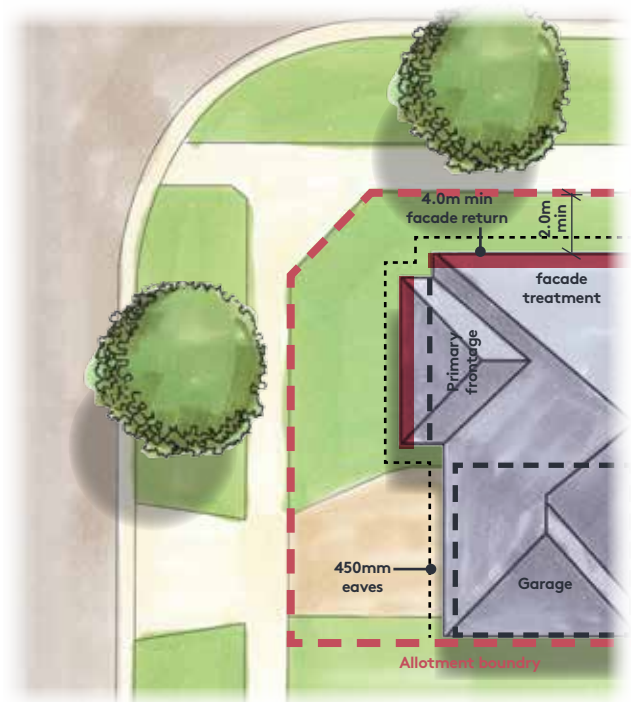
- 5.2 Design and articulation of corner lots must comply with the below controls;
- 5.2.1 A habitable room window must be provided to the secondary street frontage of your home within the first four (4) metres of setback from the front facade.
- 5.2.2 Continuation of materials used on the front of your home and articulation must continue around to the secondary street frontage to a length of four (4) metres.
- 5.3 Façade replication will be managed under the below controls;
- 5.3.1 Your homes façade design must avoid replicating an identical façade to another home within three (3) lots in either direction on the same side of the street or within three (3) lots on the opposite side of the street.
- 5.3.2 In the event that more than one application of the same façade design has been submitted for lots within close proximity, consent will be given to the first complete application to be received.



- 5.4 Home siting and setbacks are specified under the below controls;
- 5.4.1 Your home must be setback a minimum of four (4) metres and maximum of six (6) metres between the principal front building line of your home and the front boundary.
- 5.4.2 Eaves, balconies, verandas, open porches, porticos, pergolas and feature piers may encroach up to a minimum of one point five (1.5) metres into the front setback.
- 5.4.3 For corner lots, a minimum setback of two (2) metres to the secondary frontage is required.
- 5.4.4 The garage of your home must be setback to a minimum of five (5) metres from the front boundary and a minimum of 0.5 metres behind the principal front building line. Garages must not dominate the front façade.
- 5.4.5 All side setbacks must be a minimum of one (1) metre with the exception of garages which may be built (zero lot line) on the side boundary. Habitable windows must comply with ResCode conditions regarding Amenity Impacts 54.04.
- 5.4.6 For homes with lot frontages of twenty (20) metres or greater, all side boundaries including garages must be setback a minimum of one (1) metre on the garage side and three (3) metres on the opposite boundary.
- 5.4.7 Rear setback to your home must be a minimum of two (2) metres.
- 5.4.8 For select corner lots, a mandatory double storey home is required as shown on the release plan.



FRONT LOT



CORNER LOT

6.0 Home Style Guide

As a starting point, a minimum ceiling height of 2,550mm is required for all single storey homes and the ground floor of double storey homes, unless approved by the DRP.

Colour and material palettes must respect the following design controls;

- 6.1 Your home's façade must incorporate a minimum total of two (2) materials or finishes. One material or finish may constitute up to 70% of the overall front façade. A front façade featuring all one colour or material will not be approved.

Roofing must comply with the following design and build controls;

- 6.1.1 Where pitched (gable/hipped) roofs are used, the roof pitch must be a minimum of 22 degrees.
- 6.1.2 Where skillion roofs are used the roof pitch must be a minimum of 10 degrees.
- 6.1.3 Roofs must be finished in one of the following materials: Concrete low profile tiles. Matte colorbond finished or non-reflective corrugated metal deck roofing.
- 6.1.4 Where flat roofs of less than 5 degrees are applied, a parapet must fully conceal the roof from the public realm. Construction may be of metal deck roofing or similar material.
- 6.1.5 A minimum ceiling height of 2,550mm is required for all single storey homes and the ground floor of double storey homes, unless approved by the DRP.

Eaves and parapets must comply with the below design controls;

- 6.2.1 Your home must incorporate a minimum depth of 450mm eaves to pitched roofs on the front façade and return four (4) metres down the non-garage side of the home.
- 6.2.2 Where a garage is built on the boundary - no eave is required along the boundary frontage addressing the adjacent lot.
- 6.2.3 For corner lots with pitched or skillion roofs a minimum eave return of four (4) metres is also required.
- 6.2.4 All pitched roofs to the second storey of homes must incorporate a continuous eave of 450mm minimum to all sides.



7.0

Garages and Driveways

Your home is provided with a single crossover built to City of Whittlesea Council's standard detail. Your driveway must complement your home's façade, front landscaping, garage design and dimensions. Connection with your pre-installed crossover must be precise.

- 7.1 All garages and driveways must be constructed to the below detail;
- 7.1.1 Relocation of your crossover requires DRP approval. Related costs must be paid by the property owner prior to construction. Relocation is not always possible due to the status of the civil works program, layout of streets, street trees and underground services.
- 7.1.2 Your driveway must be offset a minimum of 500mm from the nearest side boundary.
- 7.1.3 Your driveway must address the garage façade. Your garage opening and a single footpath connecting the front door may also be included in the garage footprint.
- 7.1.4 Only one driveway is permissible per allotment. Your driveway must align exactly with the crossover provided by Mirvac and must be constructed before occupation of the home.
- 7.1.5 Acceptable driveway materials include; exposed aggregate concrete, segregated brick, slate or natural stone pavers, stamped or coloured concrete. Plain concrete driveways are not allowed.
- 7.1.6 Driveways are included in the impermeable hard surface area of the front garden and must be sized to comply with the requirement for all hard surfacing not to exceed 40% of the total area.
- 7.1.7 For lots with frontages less than 12.5m, a single car garage is allowed with a single opening width of 3.5m.
- 7.1.8 For lots with frontages of 12.5m or more, a double car garage is allowed with a single opening width of 6.5m or greater.
- 7.1.9 Triple car garages in a staggered format on lot frontages greater than 18m will be considered by the DRP.
- 7.1.10 All garages must have a garage door. Garage doors must be sectional in style with a timber, timber look or colorbond finish only.
- 7.1.11 Car ports will not be approved.

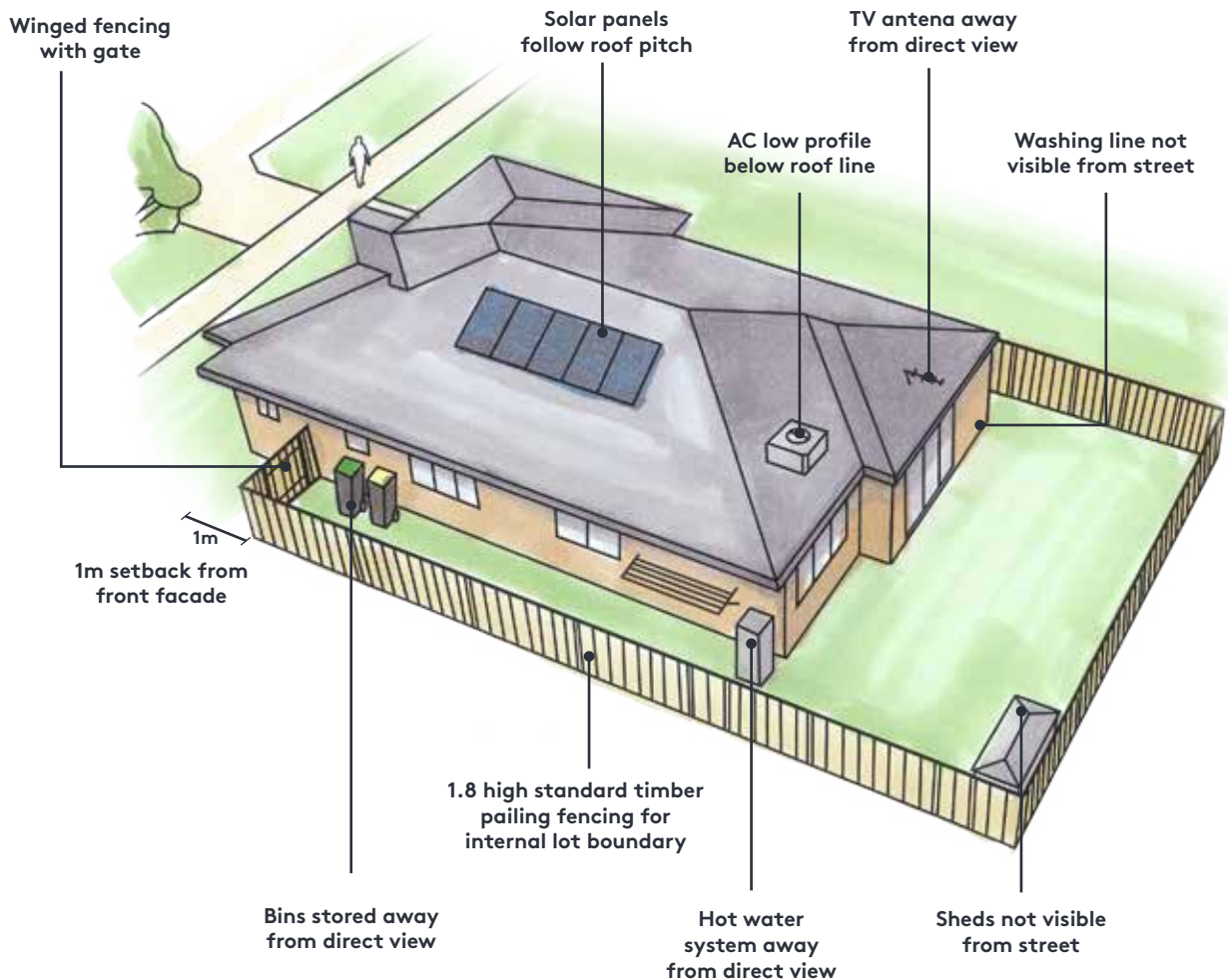


8.0

Street Amenity and Privacy

- 8.1 Your home must comply with the following controls;
 - 8.1.1 External washing lines, hot water services, plumbing infrastructure, television antennae, evaporative units, utility metres and water tanks must be located away from direct view lines from the street or public realm.
 - 8.1.2 Roof mounted building services must be located away from the streetscape or appropriately concealed by a parapet or roof structure that is part of the overall dwelling design. Low profile units must be used where applicable.
 - 8.1.3 Solar panels and collectors for hot water units are exceptions to this. These should follow the roof pitch and where visible from public areas, should be assessed on their individual merits with regards to scale, form and colour. This exemption does not apply to roof mounted storage tanks associated with these units or solar pool heating.
 - 8.1.4 External security blinds or shutters to dwelling facades are not allowed.
 - 8.1.5 Detached garages, sheds or ancillary storage of boats, caravans, or alike must not be visible from the public realm.
 - 8.1.6 Your letterbox should match the house through similar use of colours and materials. Its location should be within obvious view from the street, easily accessible and constructed as per Australia Post recommendations on dimensions. (https://auspost.com.au/content/dam/auspost_corp/media/documents/letterbox-security-specification.pdf)
 - 8.1.7 Rubbish bins and recycling bins are to be stored away from public view.





8.2 Advertising signage within the estate are not permitted.

The following exceptions apply;

- 8.2.1 Developer signage.
- 8.2.2 Display home signage, with the written approval of the DRP and the City of Whittlesea.
- 8.2.3 One standard real estate 'for sale' sign (maximum length on any edge 1500mm), but only after the dwelling is completed to the developer's satisfaction.
- 8.2.4 Builder or trades person identification required during construction of the dwelling to a maximum size of 600mm x 900mm. Such signs must be removed within 10 days of the issue of the Occupancy Permit

9.0

National Broadband Network

Olivine will be serviced by the National Broadband Network (NBN).

- 9.1 All dwellings must be provided with an NBN connection installed in accordance with "NBN Residential Preparation and Installation Guide: SDUs and MDUs". Building plans submitted to the DRP must indicate this connection.

10.0

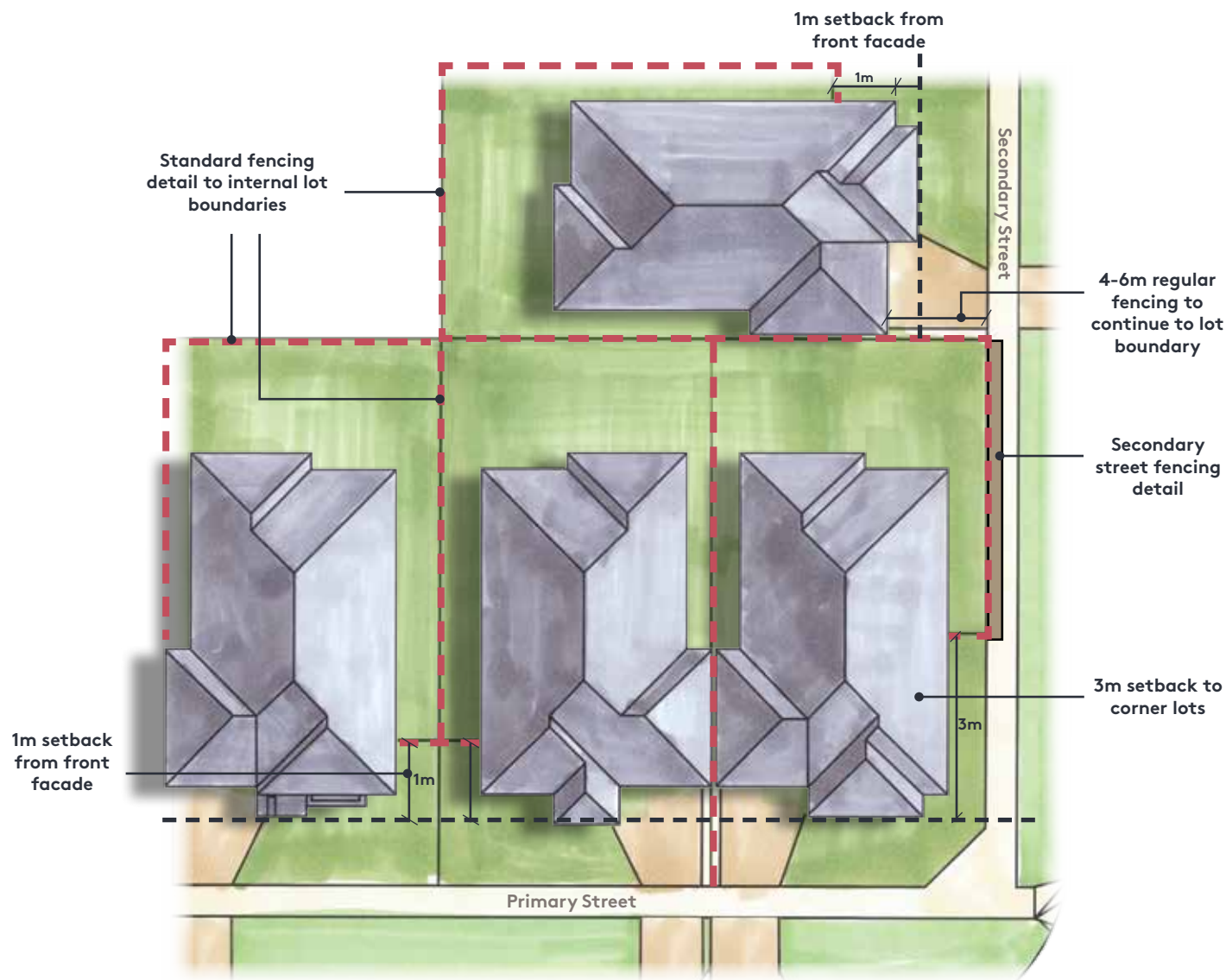
Fencing

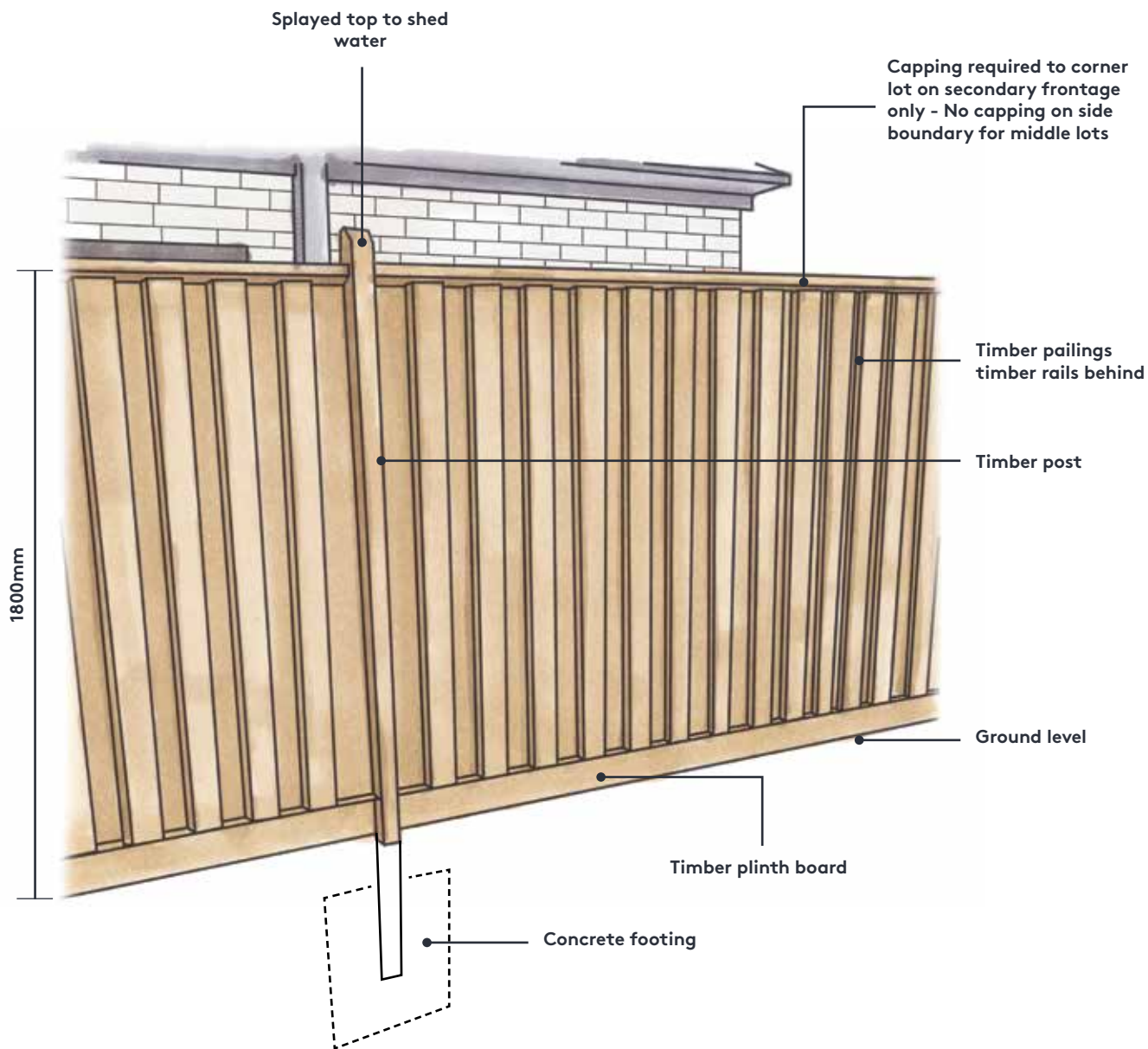
- 10.1 Fencing is mandatory to all rear and side boundaries across all lots within Olivine. Mirvac does not provide this fencing. Fencing must be installed prior to occupying your home to ensure security and privacy within the estate.

Your fencing must be installed according to the following controls;

- 10.1.1 A 1.8 metre high standard timber paling fence, built to standard fencing detail (refer to 10.2), is to be constructed to all internal lot boundaries that do not face the street. Construction is by the land owner and not the developer.
- 10.1.2 Side boundary fencing with the exception of corner lots is to be setback a minimum of one (1) metre from the primary façade.
- 10.1.3 Fencing to corner lots addressing the secondary street frontage must be set back from the front façade by three (3) metres.
- 10.1.4 Feature fencing will be installed by the developer on select lots in the development, as indicated on the release plan and on the plan of subdivision
- 10.1.5 Fencing panels may be stepped where changes in elevation occur on all internal boundaries.
- 10.1.5 Winged fencing must be set back one (1) metre from the primary façade. For corner lots, fencing addressing the secondary street facade must be set back three (3) metres. If winged fencing results in enclosure of both your side boundaries, access must be provided via a wooden gate integrated into the fencing.
- 10.2 Your fencing must comply with following standard fencing detail;
- 10.2.1 Posts: 125 x 75mm hardwood or H4 treated softwood, Durability Class 1 or 2 (suitable for in-ground use). Hardwood posts are recommended. All posts to be installed vertical with an angled top to shed water, at a spacing of 2400mm-2700mm to suit rail lengths.
- 10.2.2 Rails: 75 x 50mm hardwood or H4 treated softwood rails to be installed top, mid and bottom, Durability Class 2. Hardwood rails are recommended. Rails are to be generally 2 bays long with butt joints at alternate posts; not more than 2 rail joints to occur at any single post.
- 10.2.3 Plinth: Fine Sawn Treated Pine, 150 x 25mm. Where gaps between the ground and the plinth board are excessive (over 100 mm), a second plinth board is to be installed.
- 10.2.4 Palings: Fine Sawn Treated Pine, 150x 12mm (under); 100 x 12mm (overs), length is to suit overall 1.8m fence height. Under palings are to be spaced as necessary to maintain an overlap between overs and unders, nominal overlap is 25mm each side of the paling. Top line of fencing is to follow ground line.
- 10.2.5 Capping (secondary street detail): Fine Sawn Treated Pine, 100 x 50mm.
- 10.2.6 Homes addressing secondary streets must construct capped timber paling fencing along the boundary addressing the secondary street front according to detail 10.2.1 to 10.2.5







PAILING FENCE - LAPPED AND CAPPED

11.0

Landscape Style Guide

- 11.1 Your new home comes with a complimentary front landscaping package as a way of welcoming you to Olivine. Please refer to the terms and conditions within your contract of sale to determine whether you qualify.

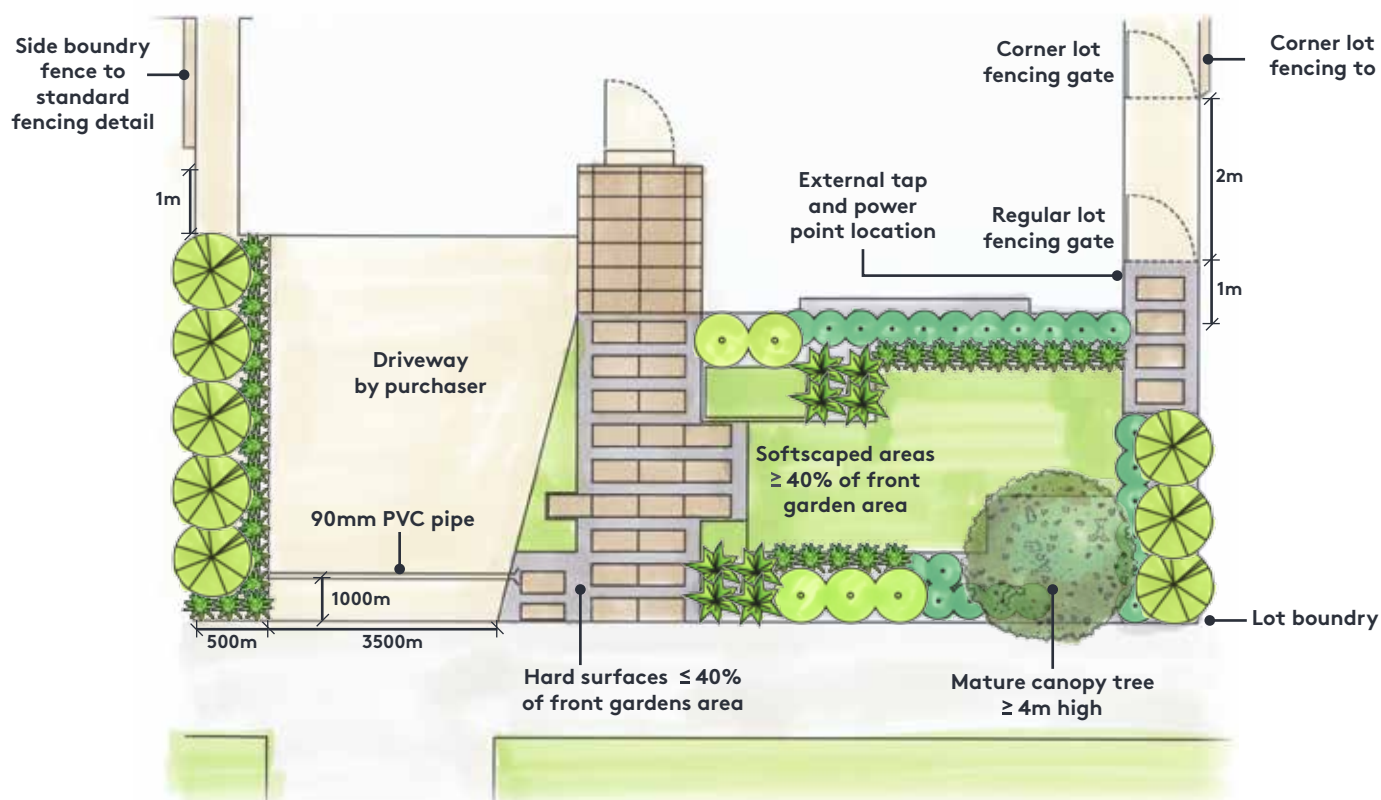
Your front landscaping must comply with the following controls;

- 11.1.1 Your front garden and areas visible on secondary frontages must be completely landscaped in accordance with the guidelines within six (6) months of issue of Certificate of Occupancy for the dwelling.
- 11.1.2 Your front garden must include a mature canopy tree that is a minimum height of four (4) metres from a list of approved species attached.
- 11.1.3 Hard surfaced areas must not exceed 40% of the front garden, including the driveway and front path.
- 11.1.4 Softscaped areas must constitute a minimum of 60% of the total front area and must consist of turf, garden beds and permeable surface materials which may include decorative stone aggregate or pebbles.
- 11.1.5 Your front landscape package entitlements may be forfeited if terms of construction are not met.

- 11.2 Provision for a six (6) station irrigation system is included in all landscape packages installed by Mirvac.

Provision of the below infrastructure is mandatory;

- 11.2.1 The following pre-works must be completed to accommodate a six (6) station irrigation system;
- 11.2.2 A 90 mm PVC pipe or similar is required to be installed under the driveway setback at a minimum of one (1) metre from the front boundary.
- 11.2.3 A minimum of two external taps are to be installed, one in the rear yard and one in the front yard on the side of the dwelling adjacent to the side gate/fence.
- 11.2.4 An external power point must be installed adjacent to the external tap located in the front yard.



Olivine feature trees allowed

KEY

Botanical Name	Common Name	Mature size (HxW)
Magnolia grandiflora ‘Little Gem’	Little Gem Magnolia	5 x 2.5
Tristaniaopsis laurina ‘Luscious’	Kanooka	8 x 4
Eucalyptus cladocalyx ‘Vintage Red’	Vinage Red Sugar Gum	7 x 4
Lagestroemia indica ‘Tuscadora’	Tuscadora Crepe Myrtle	8 x 4
Lagestroemia indica x L.faurieri ‘Natchez’	Crepe Myrtle	8 x 6
Olea europaea ‘Tolley’s Upright’	Tolley’s Upright Olive	7 x 3
Pyrus calleryana ‘Capital’	Callery Pear	10 x 3
Olea europaea ‘Tolley’s Upright’	Tolley’s Upright Olive	7 x 3
Corymbia citriodora ‘Scentuous’	Lemon Scented Gum	6 x 3
Eucalyptus caesia ‘Silver Princess’	Silver Princess	5 x 4
Metrosideros excelsa	Pohutukawa	8 x 8
Callistemon ‘Kings Park Special’	Kings Park Special Bottlebrush	4.5 x 3







Contact Us

Mirvac Sales Consultant

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